

23/2129C

HOUSING DEVELOPMENT
SITE

LINLEY ROAD

ALSAGER



Notes

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Refer to landscape architect drawings:
Landscape GA Plan - 200000
Landscape Planting Plan - 210000
Hardscape Plan - 200300

P6	05.07.24	PLANNING UPDATES	JR
P5	14.03.24	PLANNING UPDATES	JR/JP
P4	25.05.23	PLANNING ISSUE	JR/GH
P3	29.03.23	PLANNING ISSUE	JR/GH
P2	22.03.23	Draft Planning Issue	JR
P1	10.03.23	Draft Planning Issue	JR
Rev	Date	Description	Drawn / Checked

Project name

LINLEY ROAD PLUS DANE

Drawing number

3845A - LB - LR - 00 - D - A - 110000 **P6**

Drawing

Proposed Site Plan FOR PLANNING

Purpose of issue

Scale
1 : 500 @ A1

Client
Plus Dane

London
Thane Studios
2-4 Thane Villas
London N7 7PA
+44 (0)20 7275 7676
Manchester
Bonded Warehouse
18 Lower Byron Street
Manchester M3 4AP
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Dwelling Type Schedule			
House Types Schedule - Proposed Site Plan		House Types Schedule - Proposed Site Plan	
Dwelling Sub-Type	Count	Dwelling Sub-Type	Count
A1	3	Cardinham-D	3
A2	1	Cardinham-E	1
B1	2	Holt-A	5
B2	2	Holt-A.w	1
B3	1	Holt-B	2
C1	1	Holt-C	5
C2	1	Holt-C.w	4
Cardinham-A	1	Holt-D	5
Cardinham-B	2	House Type A - Signal House	1

House Types Schedule - Proposed Site Plan		House Types Schedule - Proposed Site Plan	
Dwelling Sub-Type	Count	Dwelling Sub-Type	Count
Rockingham-A	3	Rockingham-A	3
Rockingham-A.w	1	Rockingham-A.w	1
Thetford-A	8	Thetford-A	8
Thetford-A.w	3	Thetford-A.w	3
Thetford-B	6	Thetford-B	6
Thetford-B.w	6	Thetford-B.w	6
Grand total: 68			

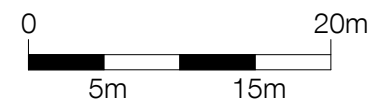
Dwelling Sub-Types			
A1	Cardinham-D	Holt-C	Rockingham-A.w
B1	Cardinham-E	Holt-C.w	Thetford-A
B2	Holt-A	Holt-D	Thetford-A.w
Cardinham-A	Holt-A.w	House Type A - Signal House	Thetford-B
Cardinham-B	Holt-B	Rockingham-A	Thetford-B.w

Dwelling Plot Number
shown on drawing:
XX

Landscape Features	
	Proposed trees
	Existing trees to be retained
	Existing trees RPA

Highways Adoption
Extent of proposed highways adoption zone - where zone is planted

Public Open Space 6252m²





1 | Landscape GA Plan
1 : 500

LEGEND

Site Boundary

Extent of proposed highways adoption zone where zone is planted (white dash)

Existing tree to be retained RPZ (grey dash)

Proposed tree

SOFTSCAPE LEGEND

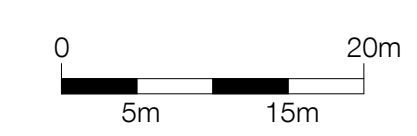
- PL01- Main Entrance Mix
- PL02- Street Mix
- PL03 - Apartment Block Mix
- PL04 - Northern buffer Mix
- PL05 - Green Spine Mix
- PL06 - Courtyard Parking Mix
- PL07- Wildflower meadow grassland
- PL08 - Climber Mix
- PL09 - Green Heart Mix
- PL10- Lawn
- PL11- Native hedgerow
- PL12- Scrub Mix

Please read in accordance with 3845A Plant schedule for detailed planting species for each mix.

HARDSCAPE LEGEND

- P01-Bitmac Carriageway and Parking
- P02- Asphalt
- P03 - Concrete Setts (in roads)
- P04 - Concrete Sett Paving (front paths)
- P05 - Rubber mulch play surface. Mixture of shredded and EPDM rubber crumbs. Range of colours

Cellweb required in key locations to protect existing tree RPAs. Refer to drawings by Jon Coe Tree Consultancy



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NOTE

Refer to Sutcliffe drawings for proposed highways work, proposed drainage and levels, further detail will be submitted as part of S278works application post planning

Refer to Rachel Hacking Ecology report for BNG calculation and ecological assessment

Refer to Jon Coe Tree AIA and tree constraint plan for existing trees to be removed or retained and the cellweb detail

External lighting design will be developed post planning

Ecological enhancement to be detailed with ecologist post planning.

P7	05/07/24	PLANNING ISSUE	EK/KD
P6	27/06/24	Public Open Space Edits	EK/KD
P5	14/03/24	PLANNING UPDATES	EK/KD
P4	25/05/23	PLANNING ISSUE	EK/JR
P3	29/03/23	DRAFT PLANNING	EK/DL
P2	22/03/23	DRAFT PLANNING	EK/DL
P1	14/03/23	Coordination	EK/DL
Rev	Date	Description	Drawn / Checked

Project name

**LINLEY ROAD
PLUS DANE**

Drawing number

3845A - LB - ZZ - XX - DP - L - 200000

Drawing

Landscape GA Plan

Purpose of issue

For Information

Scale

As indicated @ A1

First issue date

29/03/23

Client

PLUS DANE

London
Thane Studios
2-4 Thane Villas
London N17 7PA
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Manchester
Bonded Warehouse
18 Lower Byron Street
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Levitt Bernstein
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GENERAL NOTES

THIS DRAWING SHOULD NOT BE SCALED FROM. ALL DIMENSIONS SHOULD BE TAKEN FROM RELEVANT DRAWINGS. IF NO DIMENSIONS ARE AVAILABLE, THEN THE ENGINEER SHOULD BE CONTACTED FOR ADVICE.

ALL DIMENSIONS SHOULD BE CHECKED ON SITE AND ANY DISCREPANCIES SHOULD BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORKS.

ALL WORKS RELATING TO PROPOSED SEWERS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE DESIGN AND CONSTRUCTION GUIDANCE FOR FOUL AND SURFACE WATER SEWERS OFFERED FOR ADOPTION UNDER THE CODE FOR ADOPTION AGREEMENTS FOR WATER AND SEWERAGE COMPANIES OPERATING WHOLLY OR MAINLY IN ENGLAND (THE CODE) AND SHALL BE REFERRED TO AS THE DCC.

THE DESIGN OF THE SEWERS AND OTHER ELEMENTS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) HAVE BEEN DESIGNED IN ACCORDANCE WITH PARTS B, C AND D OF THE DCC. PUMPING STATION DESIGNS WILL BE CARRIED OUT BY A SPECIALIST THIRD PARTY.

THE CONSTRUCTION OF THE SEWERS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) WILL BE ACCORDANCE WITH PARTS B TO F OF THE DCC.

THE DEVELOPER WILL REMAIN RESPONSIBLE FOR THE SEWERS TO BE ADOPTED (AS INDICATED ON THIS DRAWING) UP TO THE TIME THE SEWERS ARE ADOPTED.

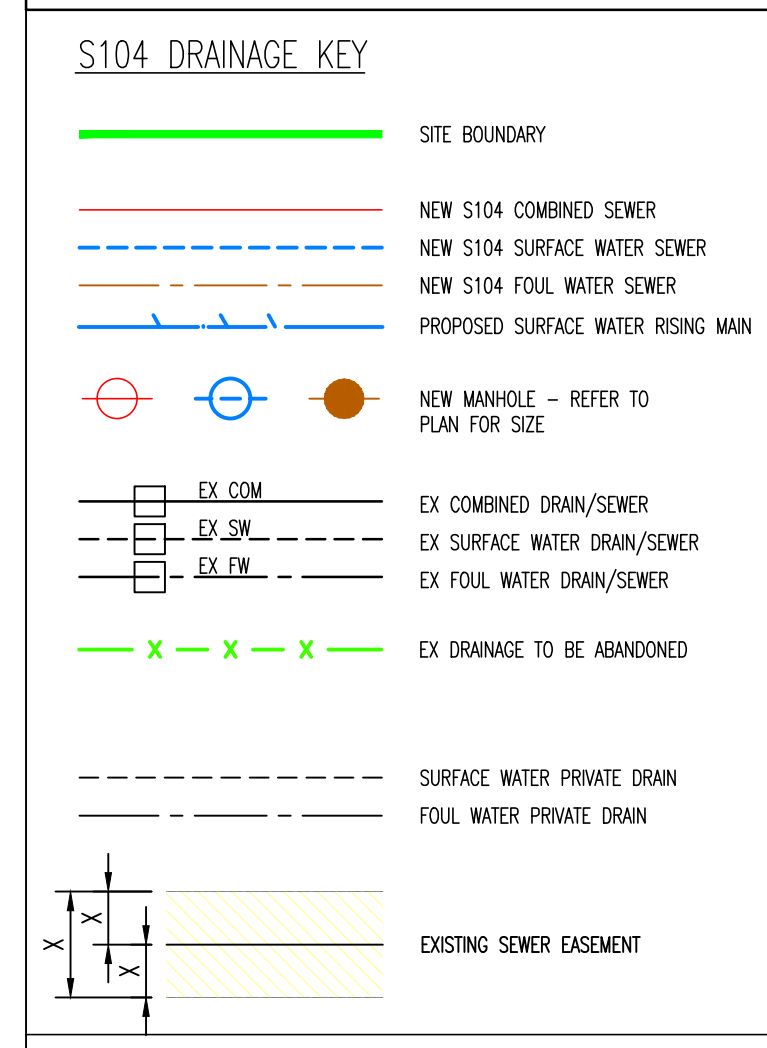
IF ANY EXISTING SEWERS ARE LOCATED ON SITE DURING THE WORKS THE ENGINEER SHALL BE NOTIFIED. ANY UNKNOWN SEWERS LOCATED ON SITE SHALL NOT BE REMOVED UNTIL ADVISED OTHERWISE.

THE DEVELOPER SHALL PROVIDE AN AS-BUILT SURVEY OF THE DRAINAGE TO THE ENGINEER UPON COMPLETION OF WORKS SO THAT AN AS-BUILT RECORD DRAWING CAN BE PREPARED.

THE DEVELOPER SHALL PROVIDE A CDM HEALTH AND SAFETY FILE IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN APPENDIX 1 OF THE DCC.

PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO ENSURE THAT THE PROPOSED DRAINAGE DOES NOT CLASH WITH THE EXISTING SERVICES. THE CONTRACTOR IS TO ALLOW FOR THIS PROVISION WITHIN THE TENDER SUM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ATTAINING ALL NECESSARY APPROVALS FOR ANY SERVICE DIMENSIONS REQUIRED TO FACILITATE THE PROPOSED WORKS.



NOTE: ALL DRAINAGE CONNECTIONS SHALL BE SOFFIT TO SOFFIT UNLESS DETAILED/NOTED OTHERWISE

NOTE: NO ADOPTABLE WORKS SHALL BE CARRIED OUT UNTIL FULLY APPROVED BY ADOPTING AUTHORITY. ANY WORKS CARRIED OUT PRIOR TO APPROVAL WILL BE UNDERTAKEN AT CONTRACTORS RISK.

NOTE: CONCRETE PROTECTION SHALL BE GRADE GEN 3 (C16/C20) COMPLYING WITH BRE SPECIAL DIGEST 1.

P03	UPDATED TO SUIT NEW SITE LAYOUT	31.01.24 J.W.	DS
P02	UPDATED TO SUIT NEW SITE LAYOUT	29.01.24 J.W.	DS
P01	ISSUED FOR COMMENT	28.06.23 A.J.B.	DS
Rev	Description	Date	By
Drawing Status			

PRELIMINARY DRAWING

Sutcliffe

Residential & Civil Engineering
Environmental & Remediation Investigation
Building Services
Planning Services

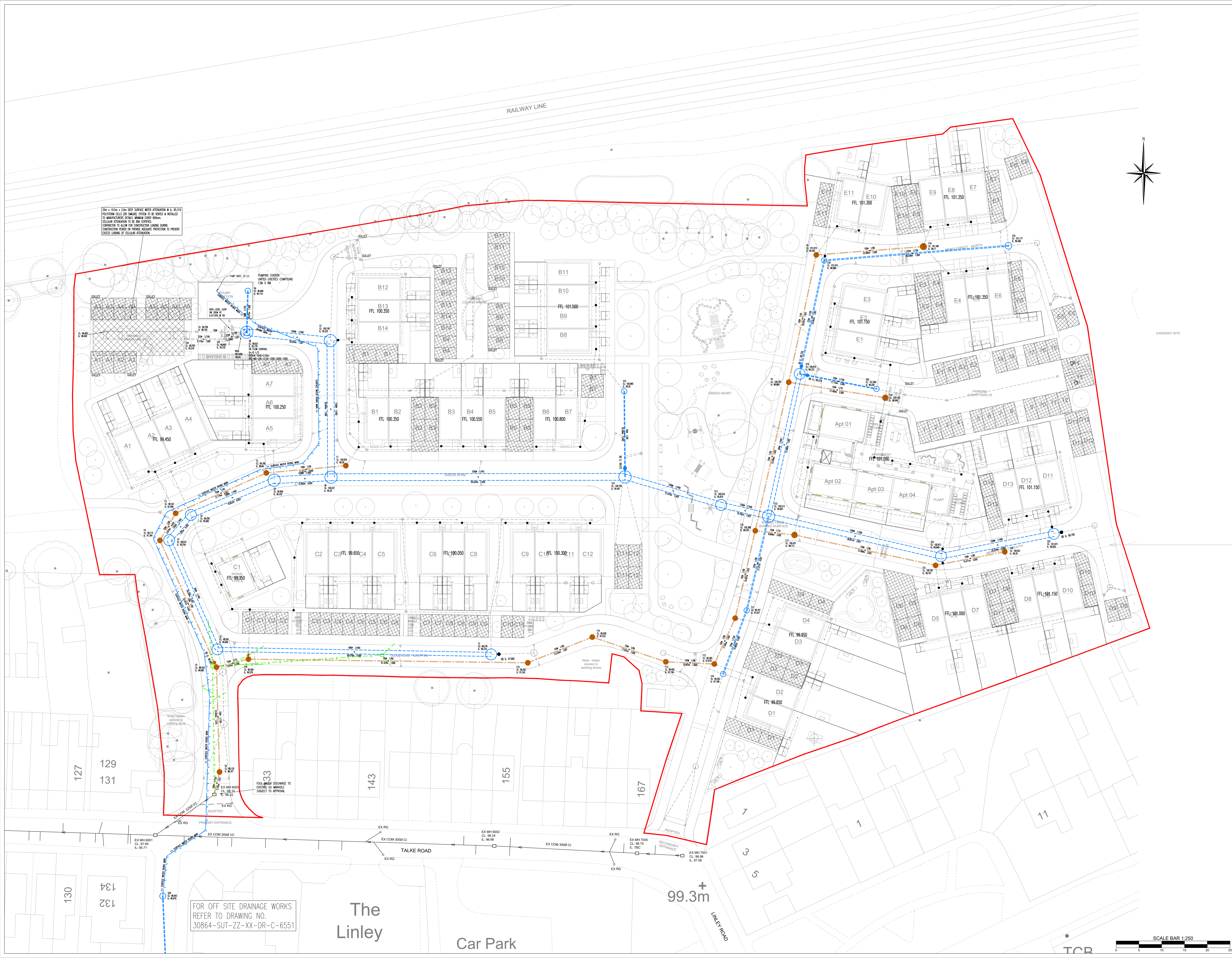
www.sutcliffe.co.uk

Client
PLUS DANE GROUP

Project
**LINLEY ROAD
ALSAGER**

Drawing Title
S104 DRAINAGE LAYOUT

Date	JUNE, 2023	Drawn By	AJB	Checked By	DS
Scale at A0	1:250	Project Number	30864	Revision	
Sheet Number	30864-SUT-ZZ-XX-DR-C-6550				P03



20m x 10m x 2.7m DEEP SURFACE WATER ATTENUATION @ L 10.1719
POLYESTER CELLS FOR SANDS, SYSTEM TO BE VENTED & INSTALLED
TO MANHOLE/CEILING LEVEL. MANHOLE COVER TO BE
CELLULAR ATTENUATION TO BE BSA CERTIFIED.
CONTRACTOR TO ALLOW FOR CONSTRUCTION DURING
CONSTRUCTION PERIOD OF PROVIDE ADEQUATE PROTECTION TO PREVENT
EXCESS LOADING OF CELLULAR ATTENUATION.

FOR OFF SITE DRAINAGE WORKS
REFER TO DRAWING NO.
30864-SUT-ZZ-XX-DR-C-6551

The Linley

Car Park



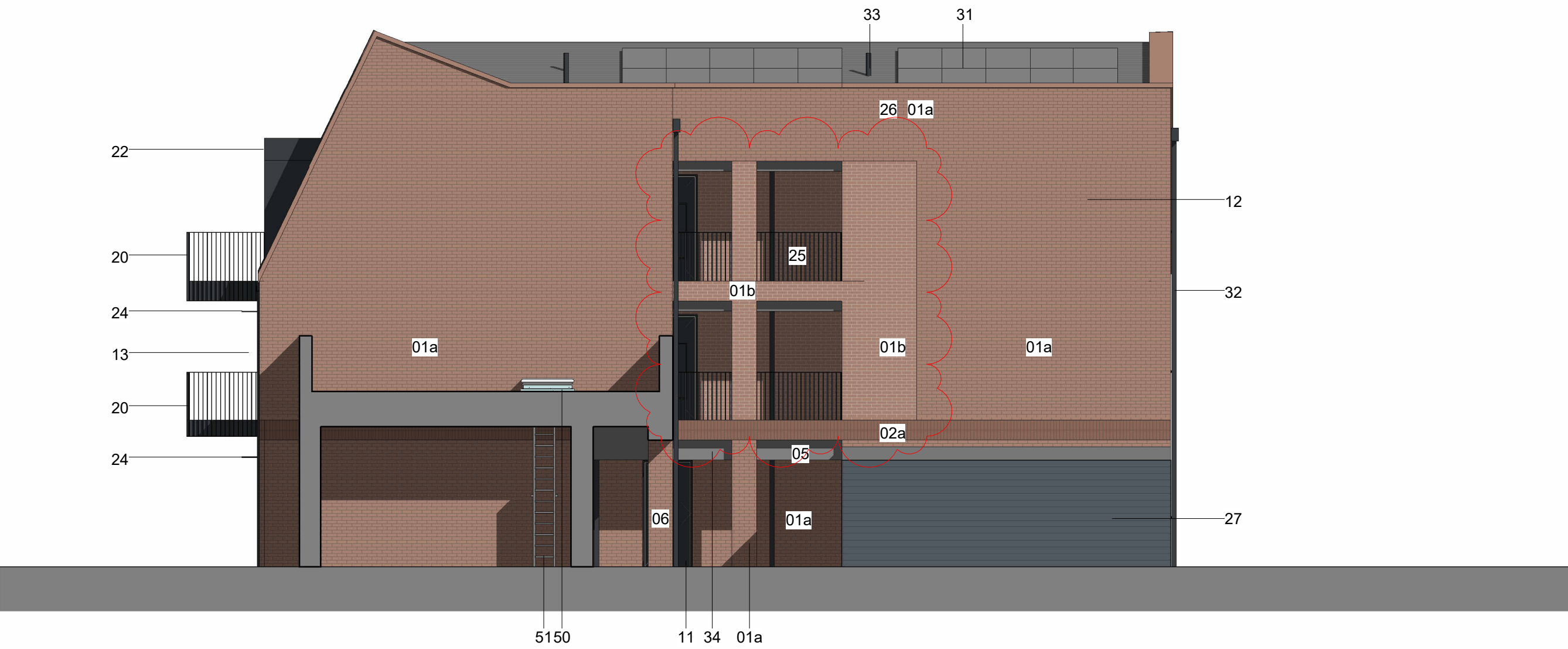
1 | External Material Intent - Elevation A -

1 : 100



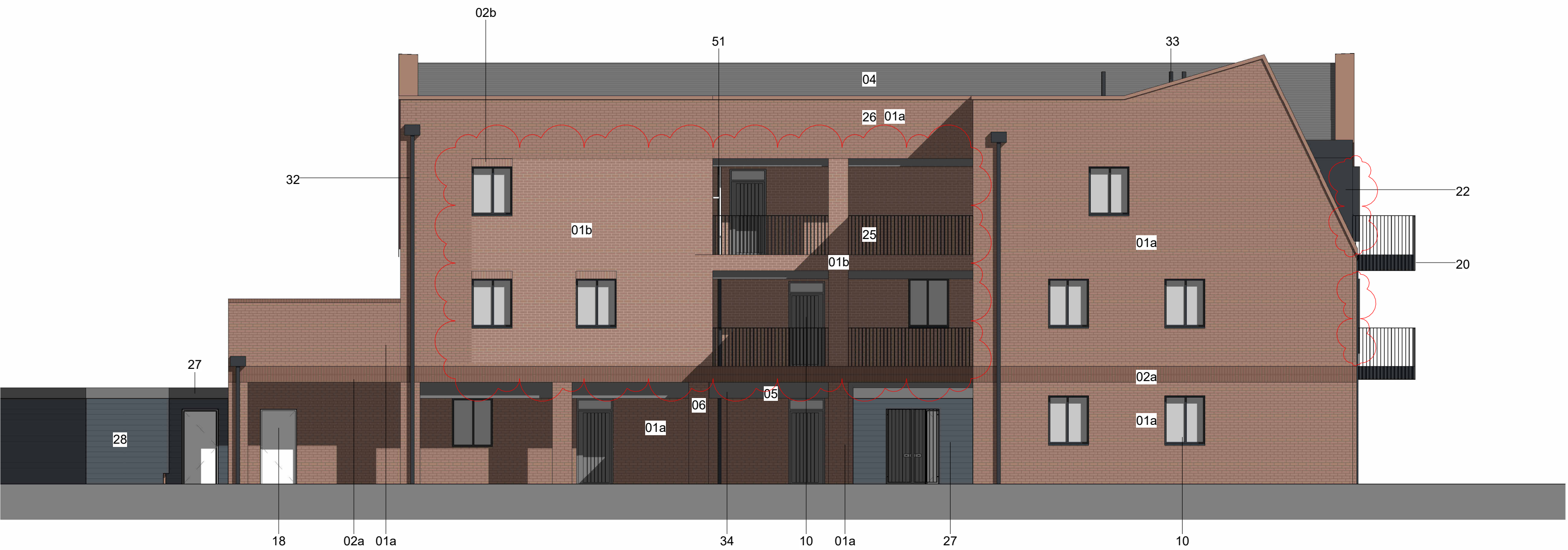
2 | External Material Intent - Elevation B -

1 : 100



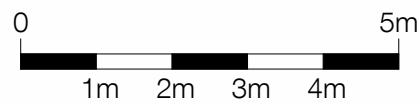
3 | External Material Intent - Elevation C -

1 : 100



4 | External Material Intent - Elevation D -

1 : 100



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Key

FINISHES

- 01a Brick – Stretcher bond - Dark mortar
- 01b Brick – Stretcher bond - Light mortar
- 02a Brick – Double soldier - Dark mortar
- 02b Brick – Double soldier - Light mortar
- 03 Weatherboard cladding
- 04 Concrete roof tile
- 05 PCC aluminium fascia
- 06 Brick encased column

COMPONENTS

- 10 Private external doorset
- 11 Communal external doorset
- 12 Window – residential
- 13 Patio doorset – brick reveal
- 14 French doorset
- 15 AOV window
- 16 Window – fixed
- 17 Curtain walling / Entrance doorset
- 18 Metal louvred doorset

ELEMENTS

- 20 Balconies with balustrade and top bar formed of 50x10 PPC MS flats.
- 21 Entrance canopy - PPC aluminium
- 22 Balcony canopy – PPC aluminium
- 23 Juliet balcony balustrade formed of 50x10 PPC MS flats
- 24 Perforated metal solar shading
- 25 Walkway balustrade and top bar formed of 50x10 PPC MS flats.
- 26 Brick parapet
- 27 Bin store
- 28 Cycle store (minimum capacity: 11 cycles)
- 29 Projecting window lining (anthracite to match window frames)

MEPH

- 30 Dry riser inlet
- 31 PV panels
- 32 PPC Metal RWP and hopper
- 33 SVP roof vent
- 34 MVHR vent within fascia.

ACCESS & MAINTENANCE

- 50 Roof access hatch
- 51 Cat ladder

GENERAL NOTES

- Windows / Doorsets to have brick reveals within brickwork walls and aluminium linings within weatherboard cladding.
- Landscape and boundary treatments as per Landscape Architect design

Rev	Date	Description	Drawn / Checked
P6	14/03/24	PLANNING UPDATES	JR/JP
P5	25/05/23	PLANNING ISSUE	JR/GH
P4	29/03/23	PLANNING ISSUE	JR/GH
P3	22/03/23	Draft Planning Issue	JR
P2	28/02/23	Lift removed & design updates	JR
P1	10/02/23	Preliminary	JC

Project name

LINLEY ROAD PLUS DANE

Drawing number

Rev

3845A - LB - BA - XX - D - A - 130100

P6

Drawing

Block A-GA Elevations

Purpose of issue	Suitability Code
FOR PLANNING	
Scale	Date
As indicated @ A1	FEB 23
Client	
Plus Dane	

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Manchester
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+44 (0)161 669 8740

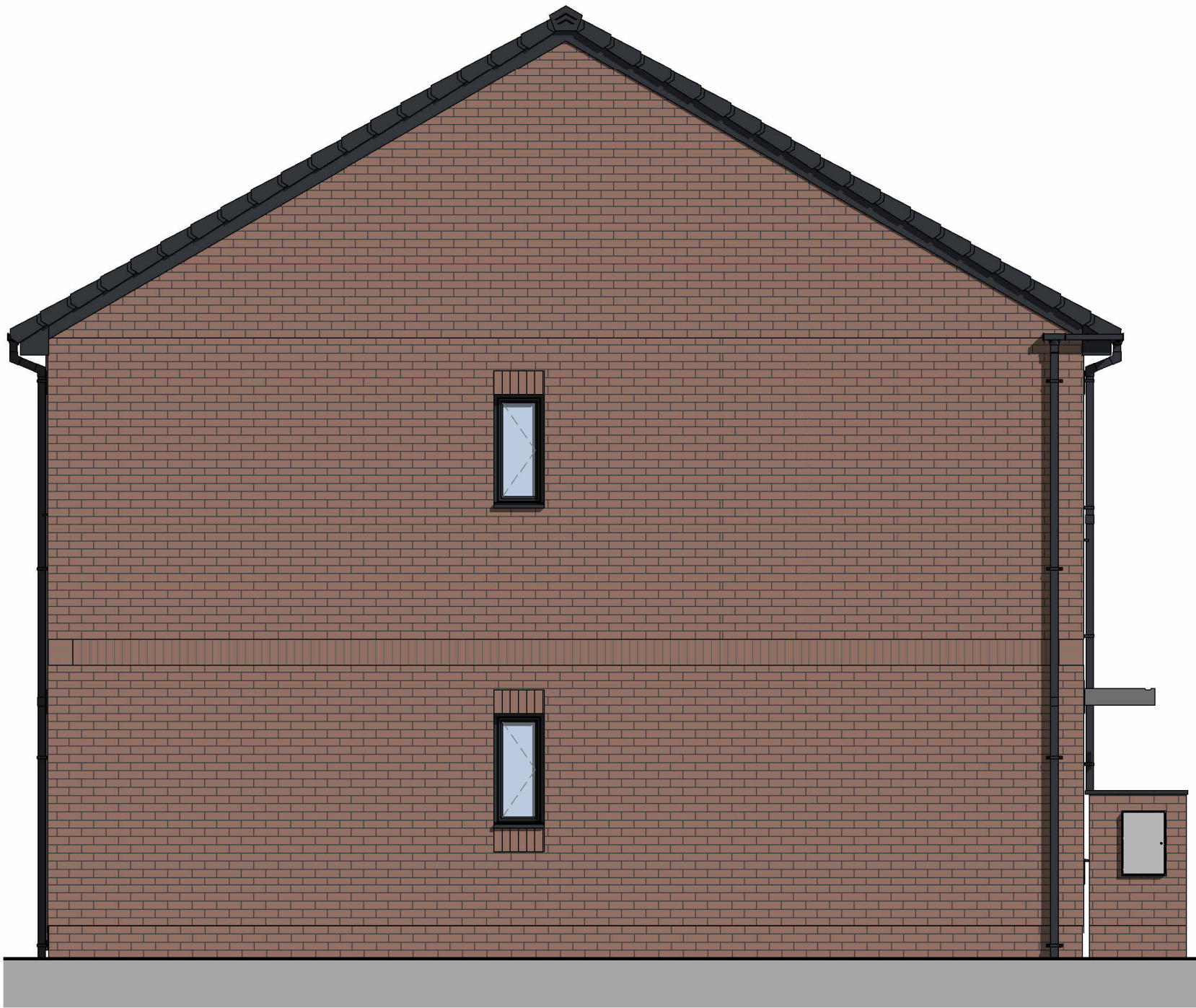
ILKE HOUSE TYPE | HOLT-A & A.w



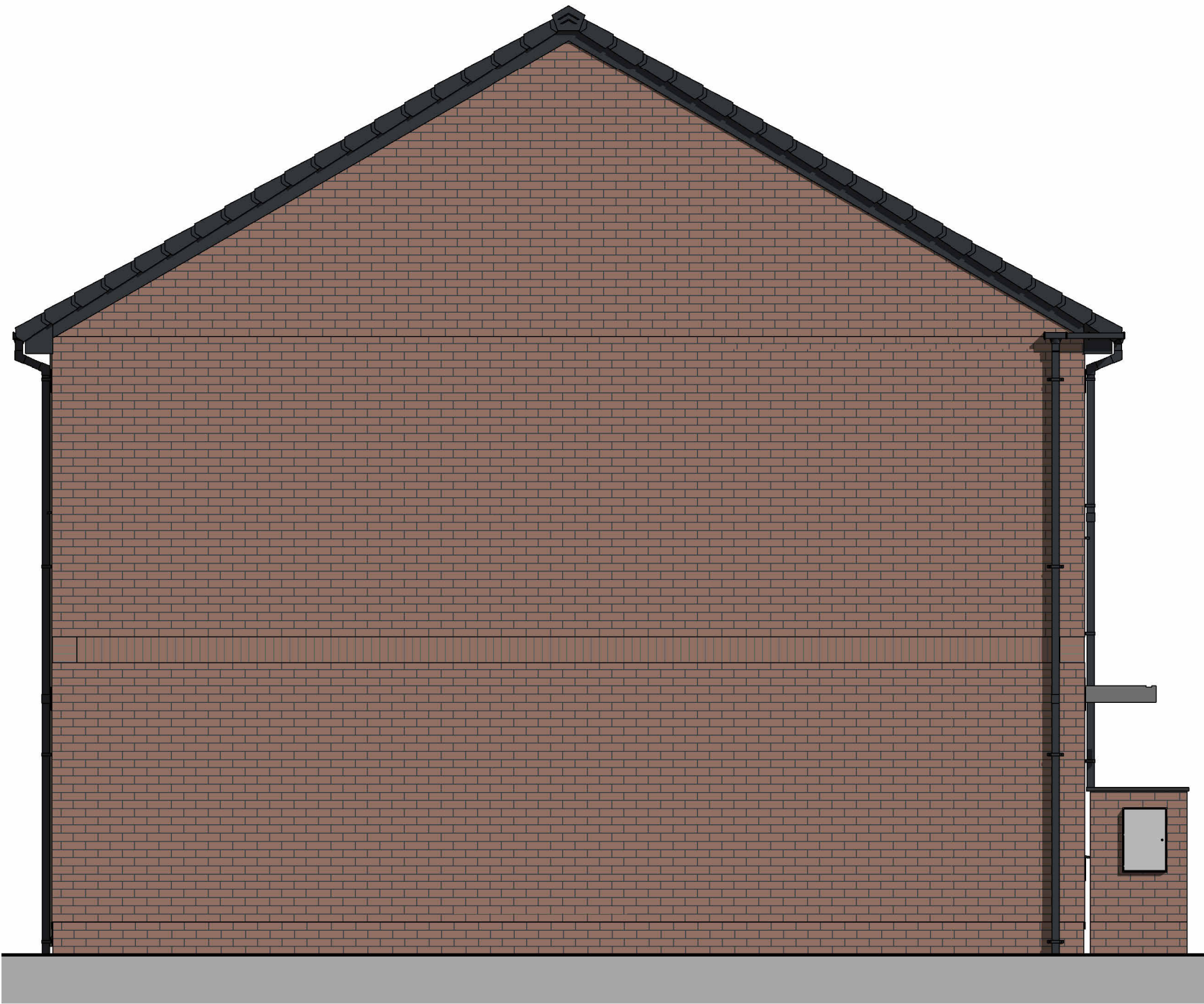
2 | Holt-A & A.w Front Elevation - Material Intent
1 : 50



1 | Holt-A & A.w Rear Elevation - Material Intent
1 : 50



3 | Holt-A.w Side Elevation - Material Intent
1 : 50



7 | Holt-A Side Elevation - Material Intent
1 : 50

Notes

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Elevation Material Key

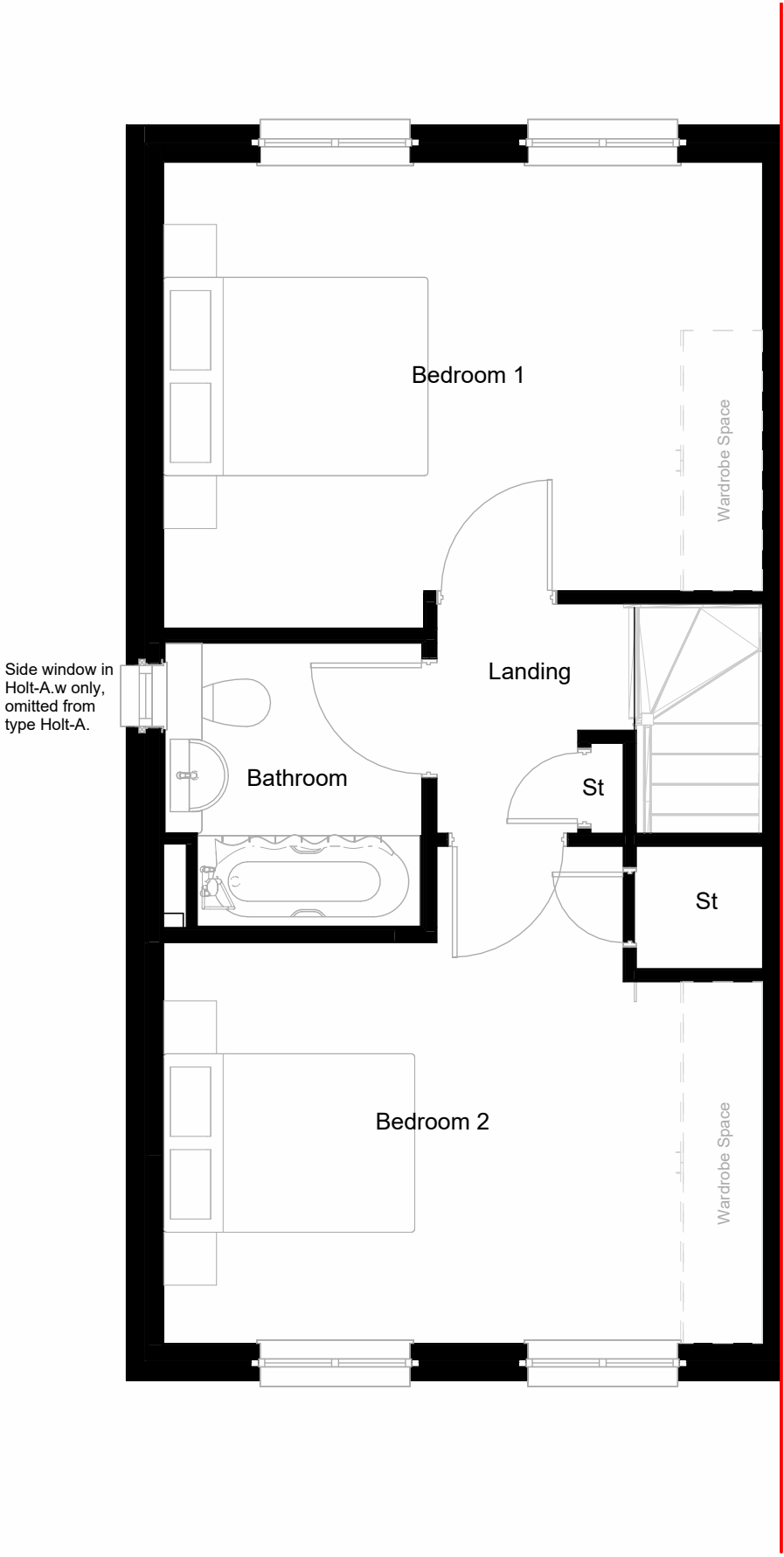
- Red brick - soldier course datum
- Red brick - stretcher course
- Render - off white
- Weatherboard - anthracite

RWP, Fascia fittings & Windows - anthracite



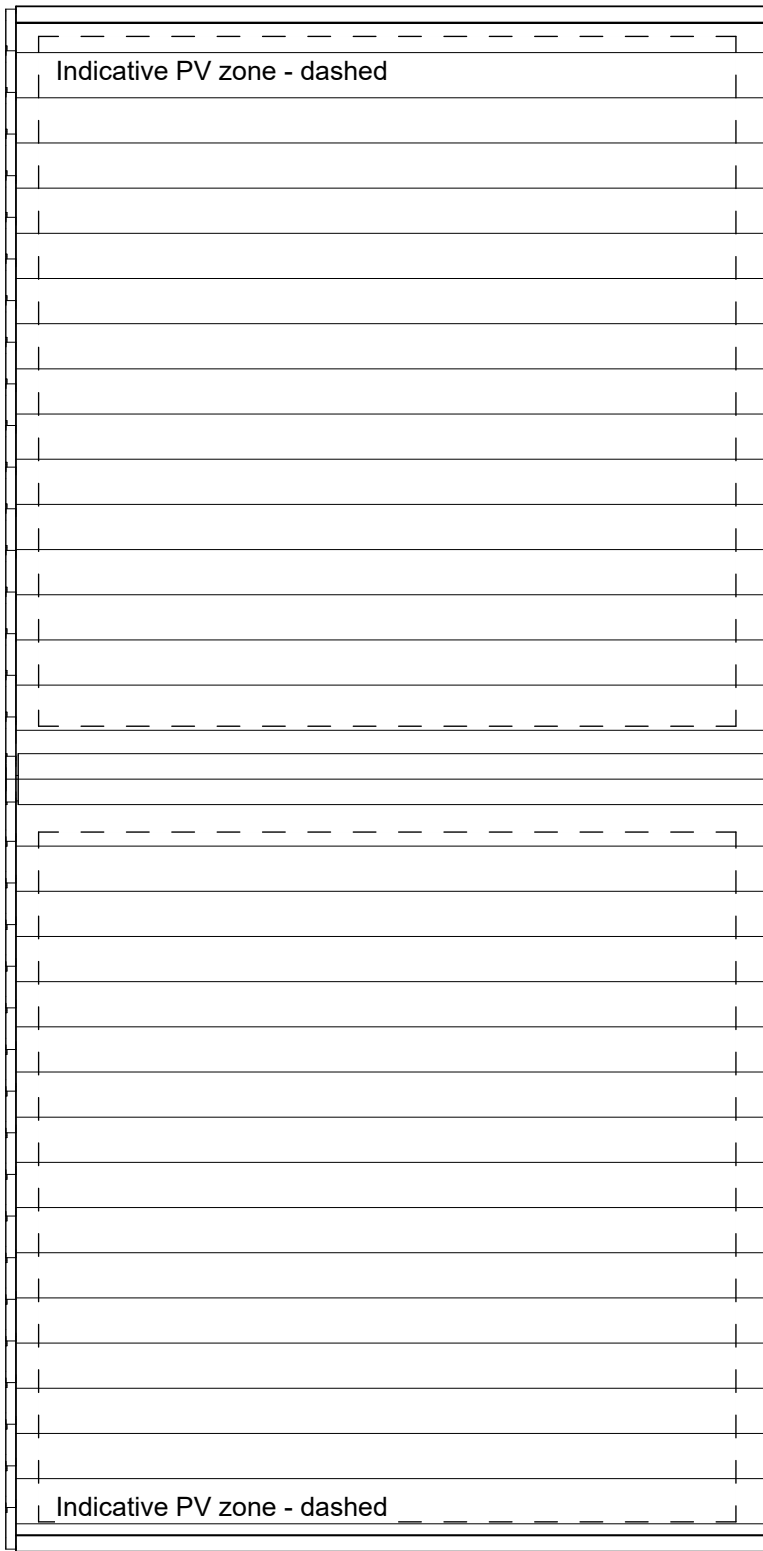
4 | Holt-A & A.w Ground Floor Plan
1 : 50

GF



5 | Holt-A & A.w First Floor Plan
1 : 50

1F



6 | Holt-A & A.w Roof Plan
1 : 50

Holt-A & A.w

- End/Mid plot
- Roof: Standard 30deg
- L00 Elevation: Brick slip
- L01 Elevation: Brick slip
- Side Window: Holt-A [NO] / Holt-A.w [YES]

Holt-B

- End plot
- Roof: Front 46deg gable
- L00 Elevation: Brick slip
- L01 Elevation: Brick slip
- Side Window: No

Holt-C & C.w

- End/Mid plot
- Roof: Standard 30deg
- L00 Elevation: Brick slip
- L01 Elevation: Render
- Side Window: Holt-C [NO] / Holt-C.w [YES]

Holt-D

- End/Mid plot
- Roof: Standard 30deg
- L00 Elevation: Brick slip
- L01 Elevation: Weatherboard
- Side Window: No

Holt-E.w

- End plot
- Roof: Standard Front gable 46deg
- L00 Elevation: Brick slip
- L01 Elevation: Weatherboard
- Side Window: Yes

Area Schedule (GIA) - House Sub-Types - Holt A, A.w					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents

A6	Holt-A	Brick Slip	Brick Slip	No	
B2	Holt-A	Brick Slip	Brick Slip	No	
B3	Holt-A	Brick Slip	Brick Slip	No	
B4	Holt-A	Brick Slip	Brick Slip	No	
B5	Holt-A	Brick Slip	Brick Slip	No	

Holt-A: 5					
A7	Holt-A.w	Brick Slip	Brick Slip	Yes	

Holt-A.w: 1
Grand total: 6

P5	25.05.23	PLANNING ISSUE - Ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning Issue	JR
P2	10.03.23	Draft Planning Issue	JR
P1	28.02.23	Ilke Types - draft issue	JR

Rev	Date	Description	Drawn / Checked
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Project name

LINLEY ROAD
PLUS DANE

Drawing number Rev

3845A - LB - IH - XX - D - A - 120300 P5

Drawing

House Type - Holt-A & A.w

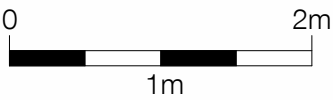
Purpose of issue
FOR PLANNING

Scale Date
1 : 50 @ A1 01/16/23

Client

Plus Dane

London
Thane Studios
2-4 Thane Villas
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Manchester
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Levitt Bernstein
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ILKE HOUSE TYPE | HOLT-C & C.w



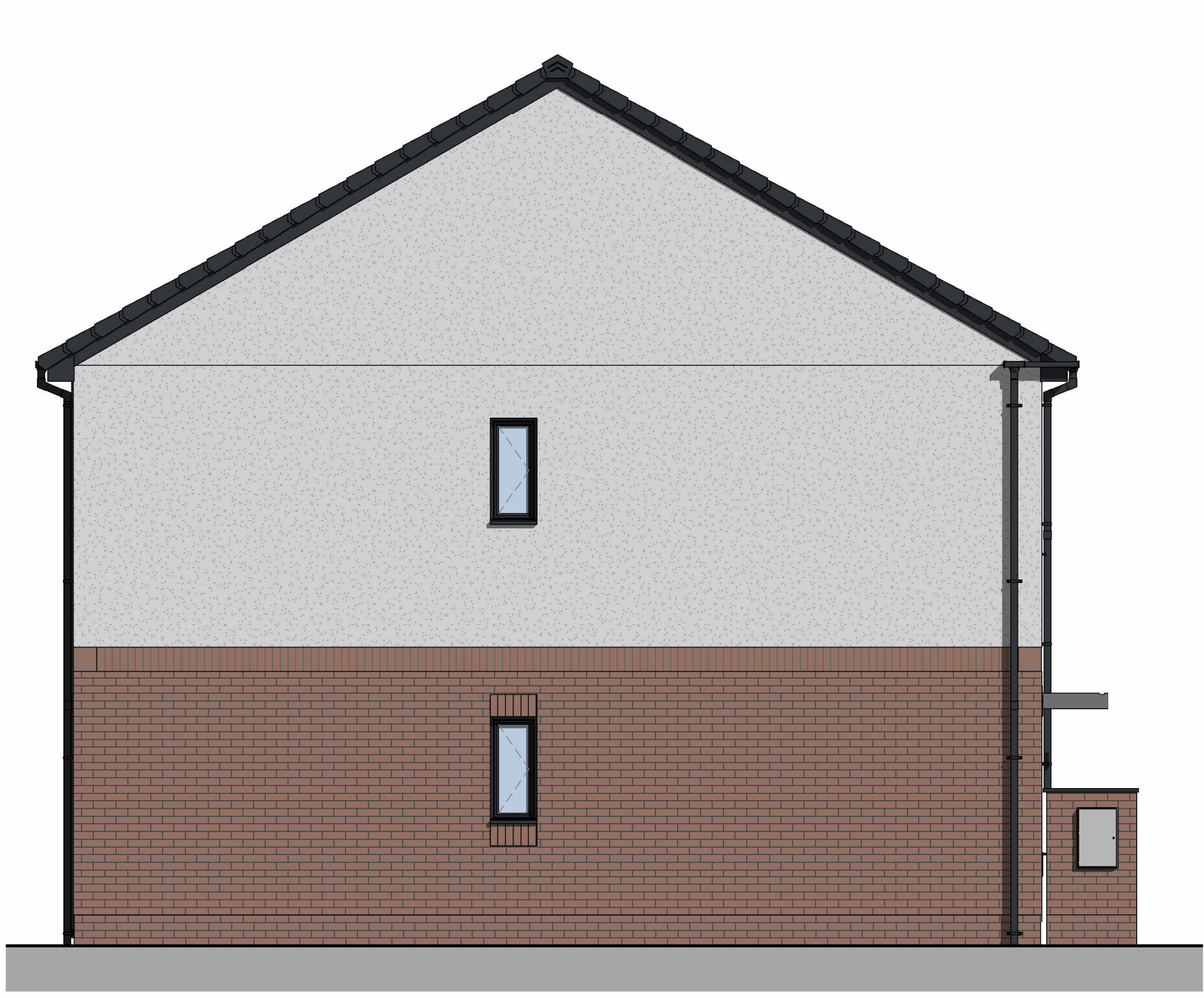
2 | Holt-C & C.w Front Elevation - Material Intent

1 : 50



1 | Holt-C & C.w Rear Elevation - Material Intent

1 : 50



3 | Holt-C & C.w Side Elevation - Material Intent

1 : 50

- Holt-A & A.w**
 - End/Mid plot
 - Roof: Standard 30deg
 - L00 Elevation: Brick slip
 - L01 Elevation: Brick slip
 - Side Window: Holt-A [NO] / Holt-A.w [YES]
- Holt-B**
 - End plot
 - Roof: Front 46deg gable
 - L00 Elevation: Brick slip
 - L01 Elevation: Brick slip
 - Side Window: No
- Holt-C & C.w**
 - End/Mid plot
 - Roof: Standard 30deg
 - L00 Elevation: Brick slip
 - L01 Elevation: Render
 - Side Window: Holt-C [NO] / Holt-C.w [YES]
- Holt-D**
 - End/Mid plot
 - Roof: Standard 30deg
 - L00 Elevation: Brick slip
 - L01 Elevation: Weatherboard
 - Side Window: No
- Holt-E.w**
 - End plot
 - Roof: Standard Front gable 46deg
 - L00 Elevation: Brick slip
 - L01 Elevation: Weatherboard
 - Side Window: Yes

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Elevation Material Key

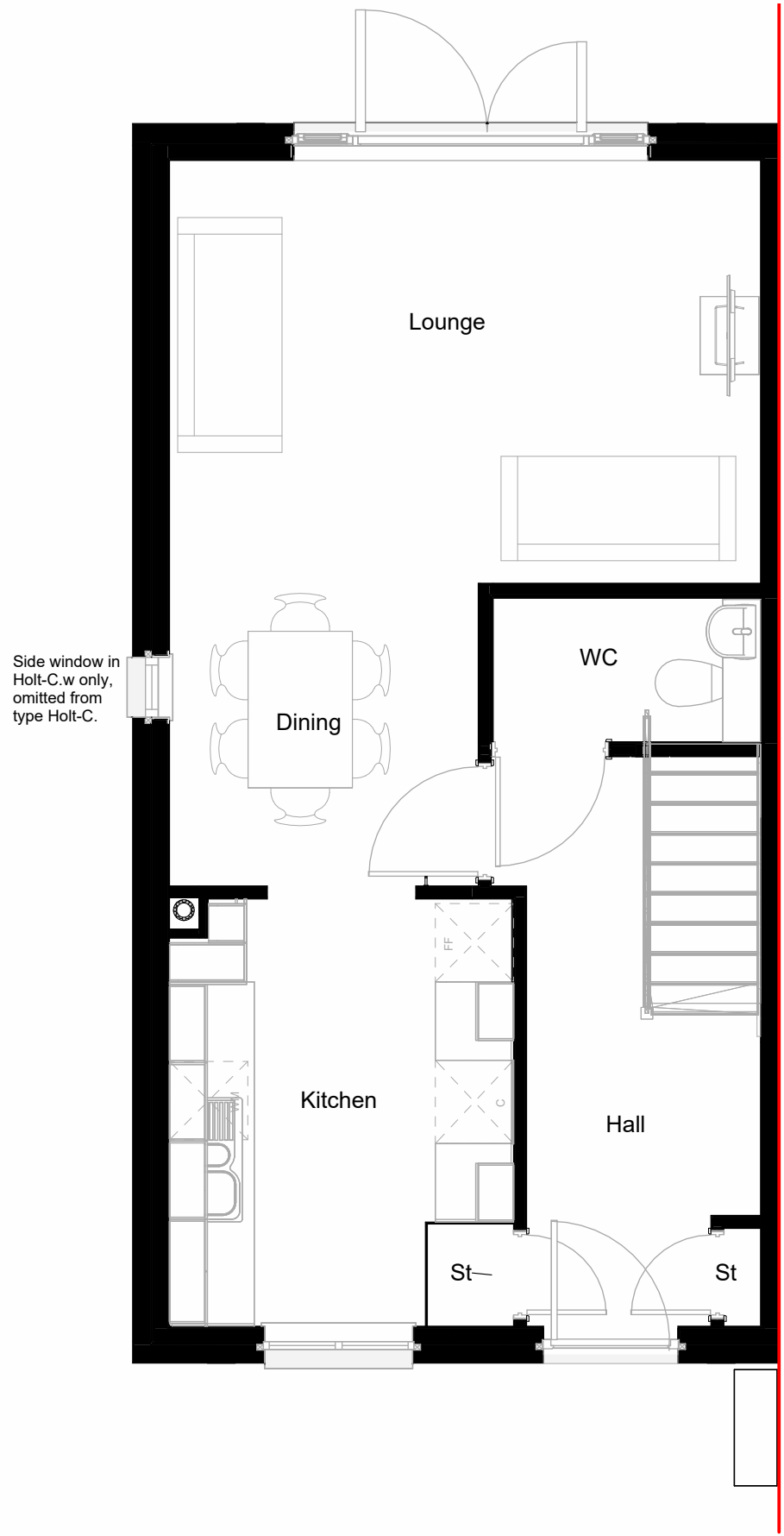
Red brick - soldier course datum

Red brick - stretcher course

Render - off white

Weatherboard - anthracite

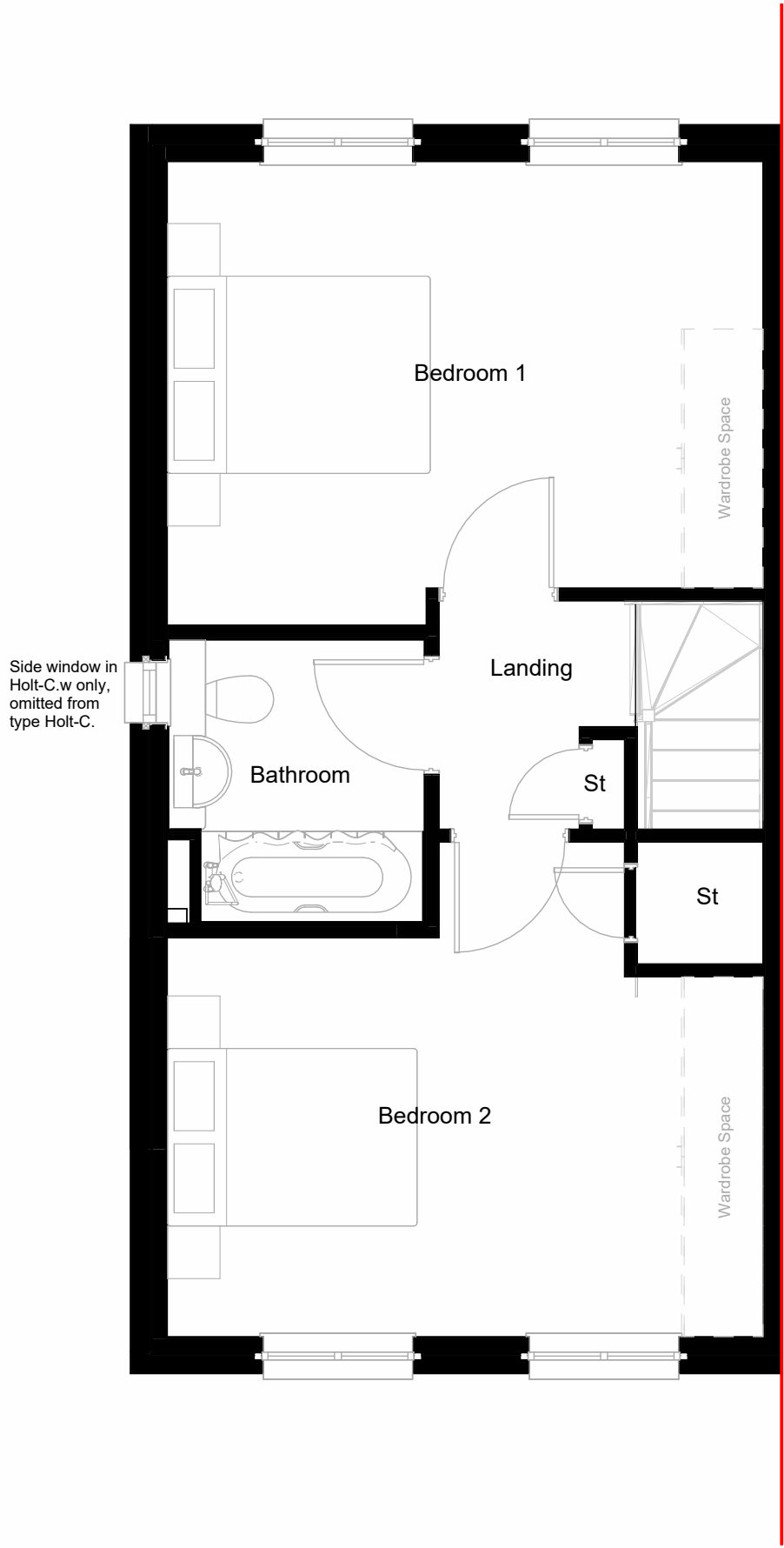
RWP, Fascia fittings & Windows - anthracite



4 | Holt-C & C.w Ground Floor Plan

1 : 50

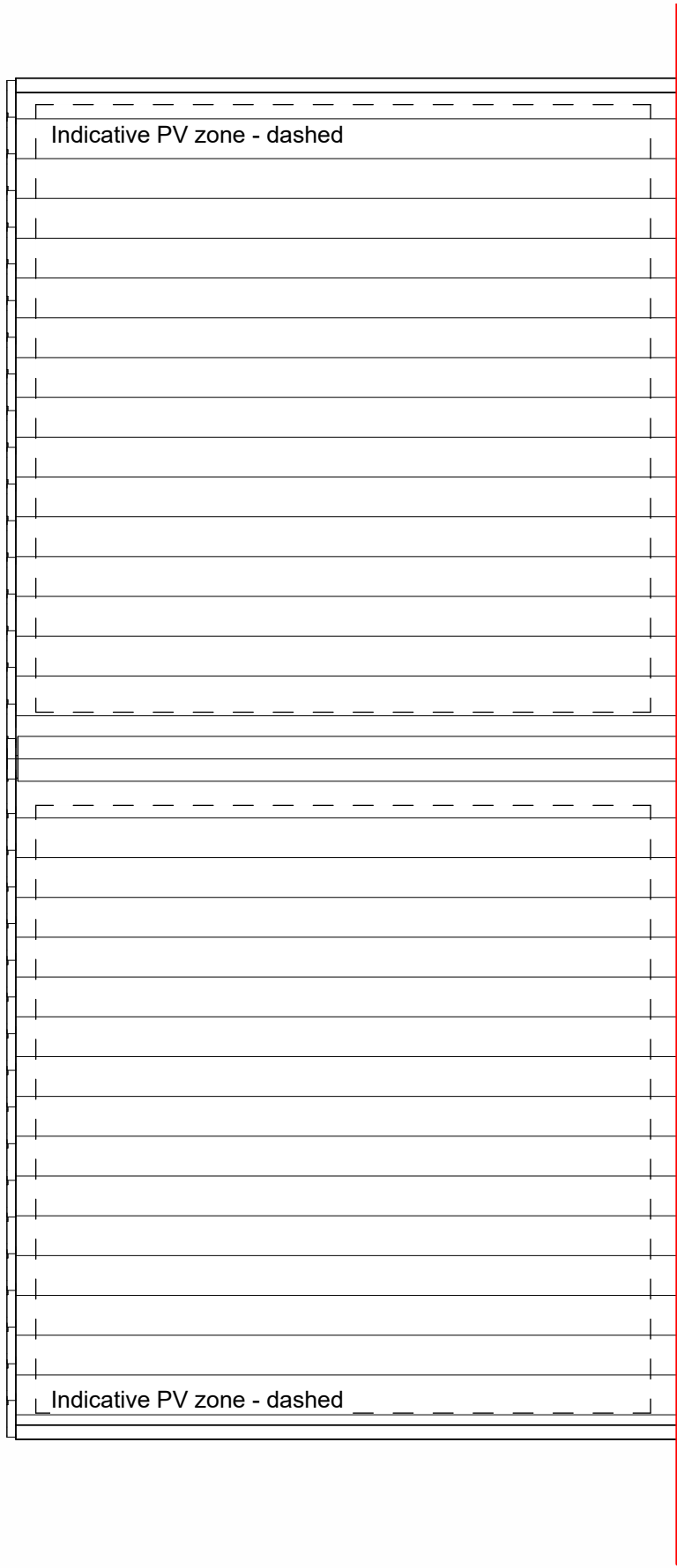
GF



5 | Holt-C & C.w First Floor Plan

1 : 50

1F



6 | Holt-C & C.w Roof Plan

1 : 50

Area Schedule (GIA) - House Sub-Types - Holt C					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents
B12	Holt-C	Brick Slip	Render	No	
B13	Holt-C	Brick Slip	Render	No	
D12	Holt-C	Brick Slip	Render	No	Yes
E8	Holt-C	Brick Slip	Render	No	Yes
E9	Holt-C	Brick Slip	Render	No	Yes
Holt-C: 5					
B14	Holt-C.w	Brick Slip	Render	Yes	
D11	Holt-C.w	Brick Slip	Render	Yes	Yes
D13	Holt-C.w	Brick Slip	Render	Yes	Yes
E7	Holt-C.w	Brick Slip	Render	Yes	Yes
Holt-C.w: 4					
Grand total: 9					

P5	25.05.23	PLANNING ISSUE - Ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning Issue	JR
P2	10.03.23	Draft Planning Issue	JR
P1	28.02.23	Ilke Types - draft issue	JR

Rev	Date	Description	Drawn / Checked
-----	------	-------------	-----------------

Project name

LINLEY ROAD
PLUS DANE

Drawing number Rev

3845A - LB - IH - XX - D - A - 120302 P5

Drawing

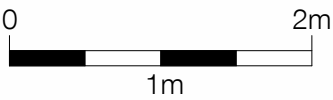
House Type - Holt-C & C.w

Purpose of issue
FOR PLANNING

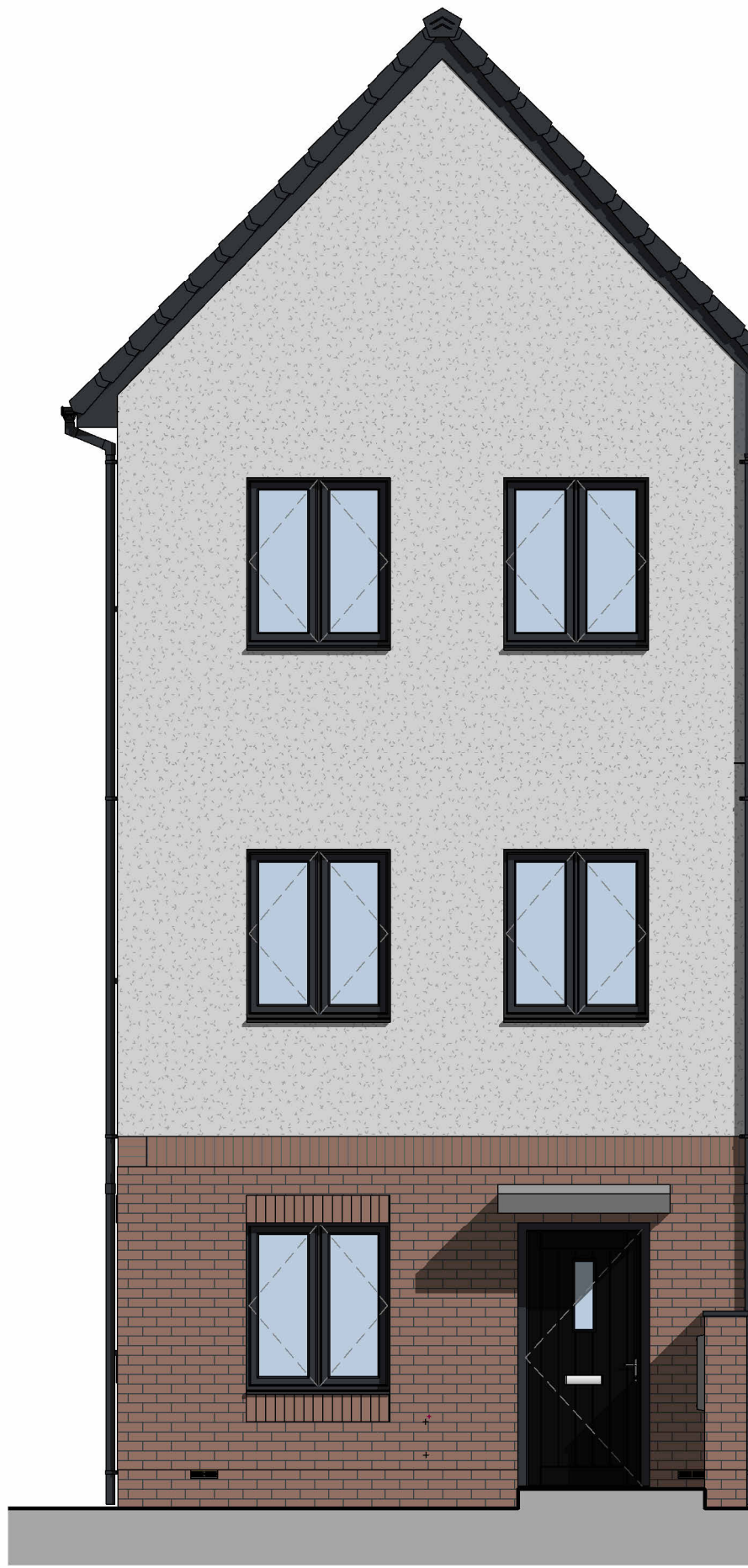
Scale Date
1 : 50 @ A1 01/16/23

Client
Plus Dane

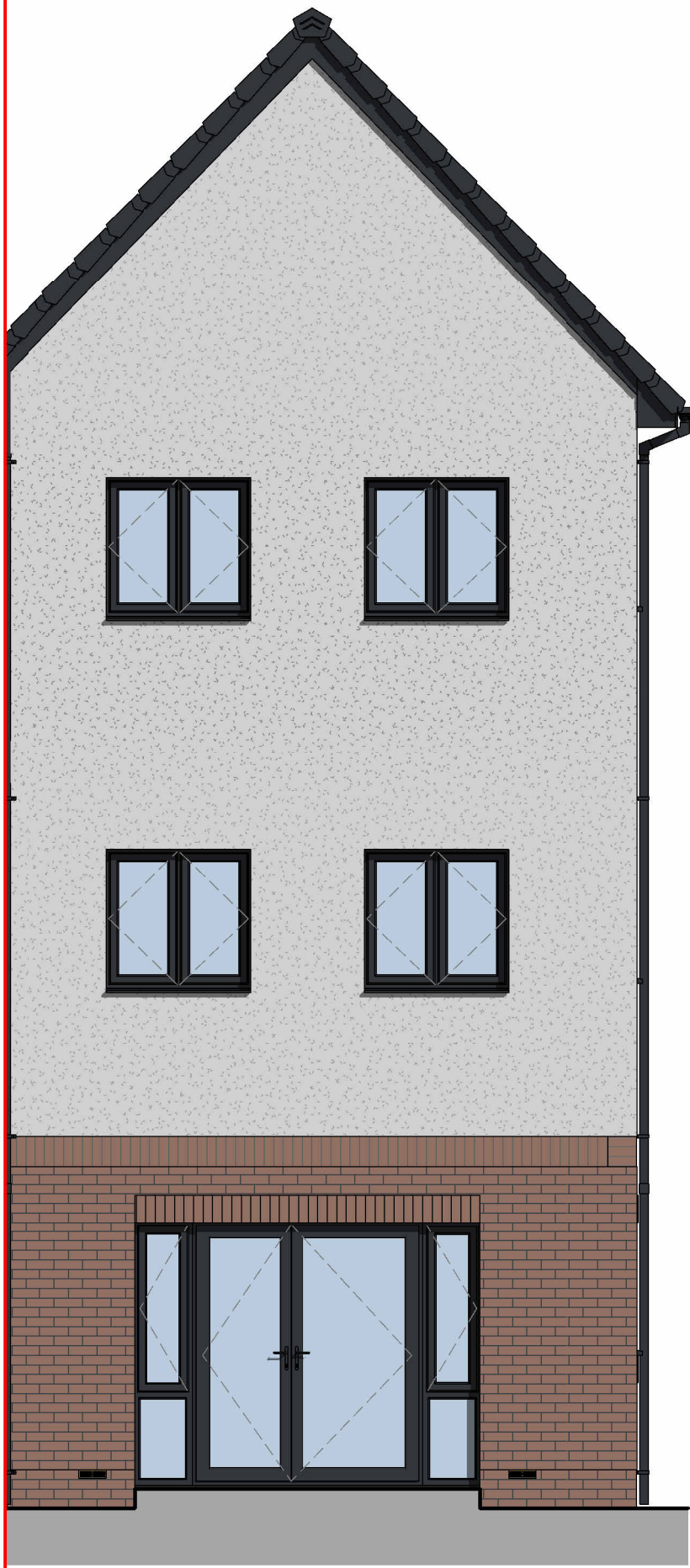
London
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Manchester
Bonded Warehouse
18 Lower Byron Street
Manchester M3 4AP
+44 (0)161 669 6740
Levitt Bernstein
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ILKE HOUSE TYPE | ROCKINGHAM-A & A.w



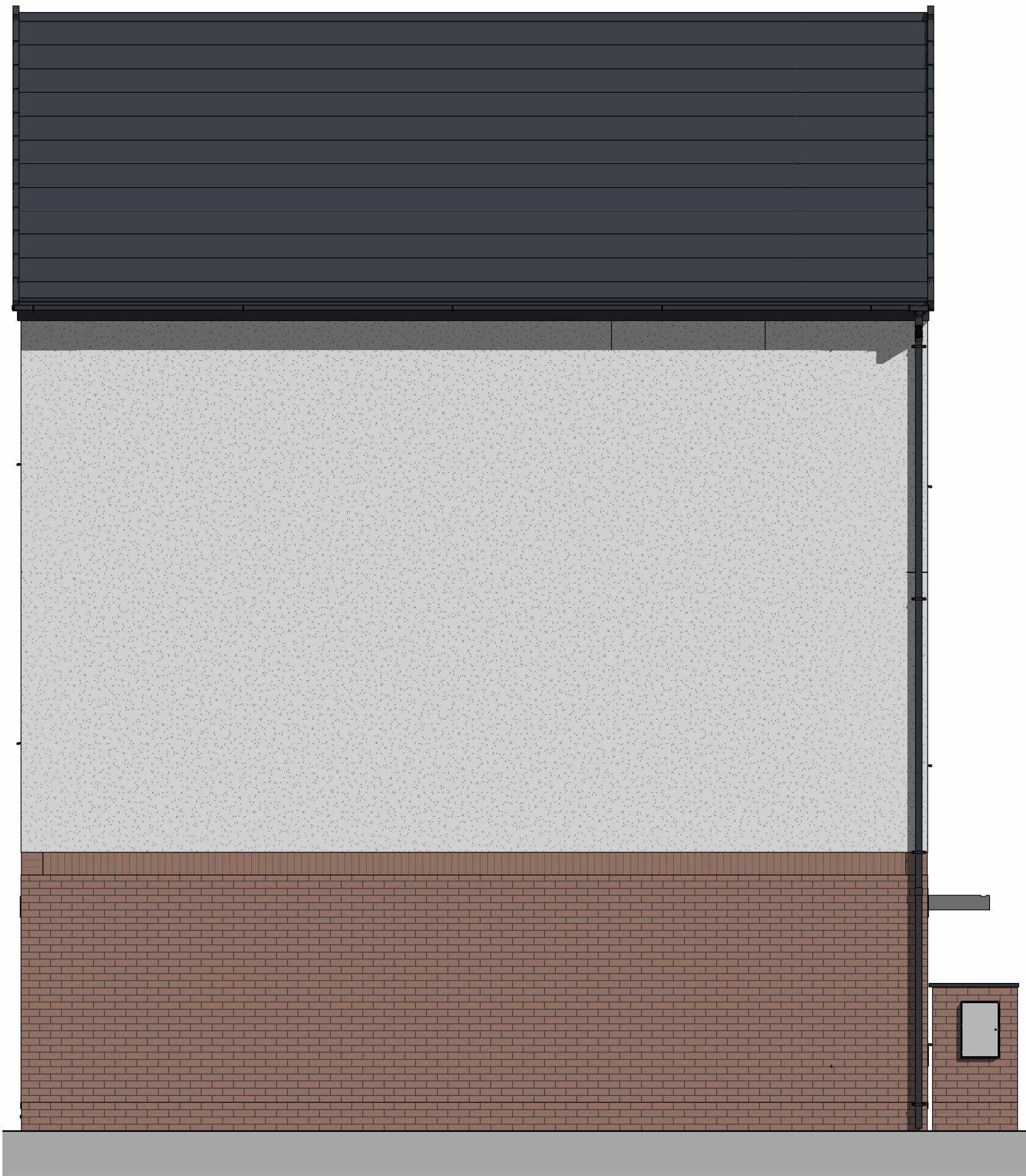
1 | Rockingham A & A.w Front Elevation - Material Intent
1 : 50



2 | Rockingham A & A.w Rear Elevation - Material Intent
1 : 50



3 | Rockingham A.w Side Elevation - Material Intent
1 : 50



8 | Rockingham A Side Elevation - Material Intent
1 : 50

Notes

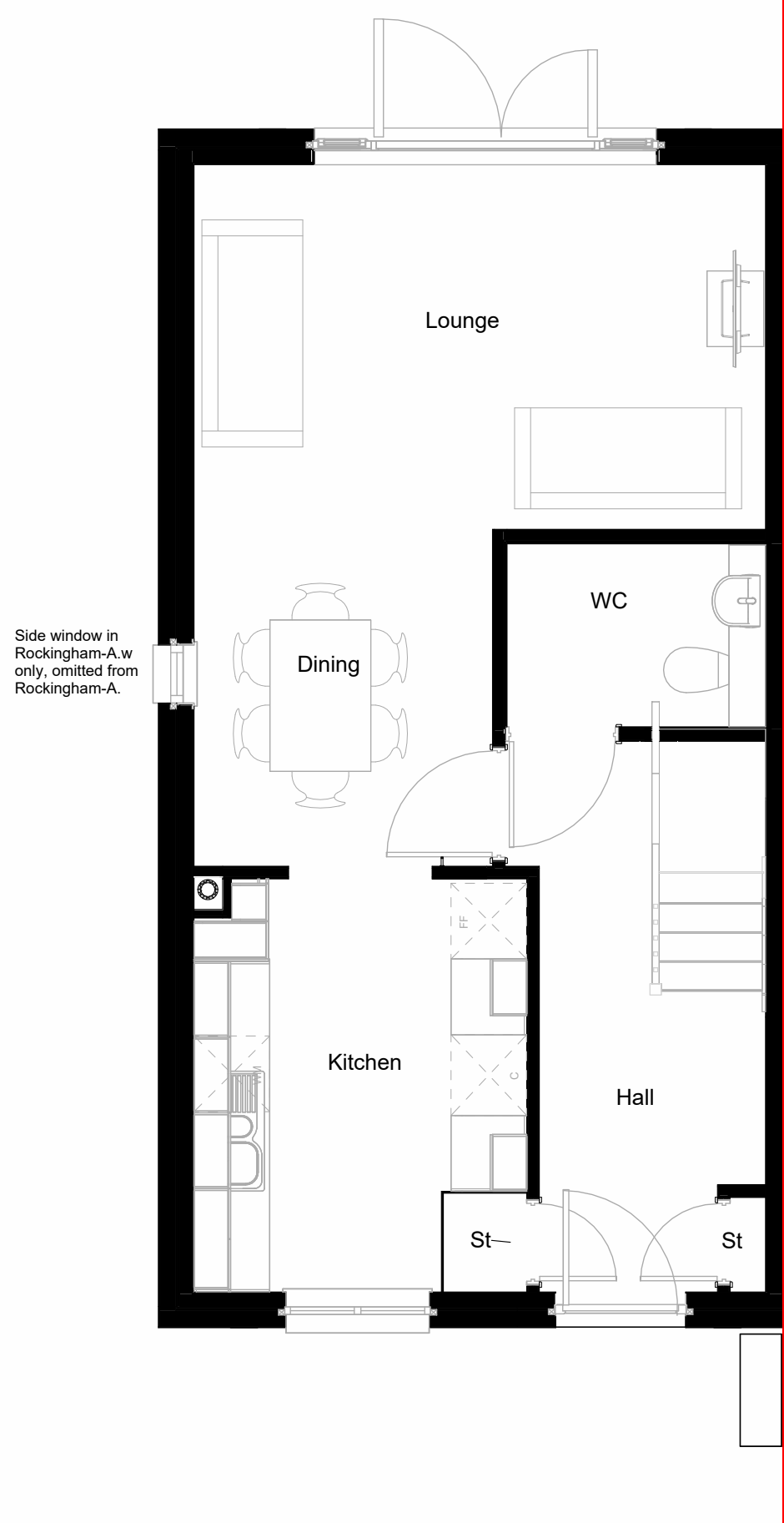
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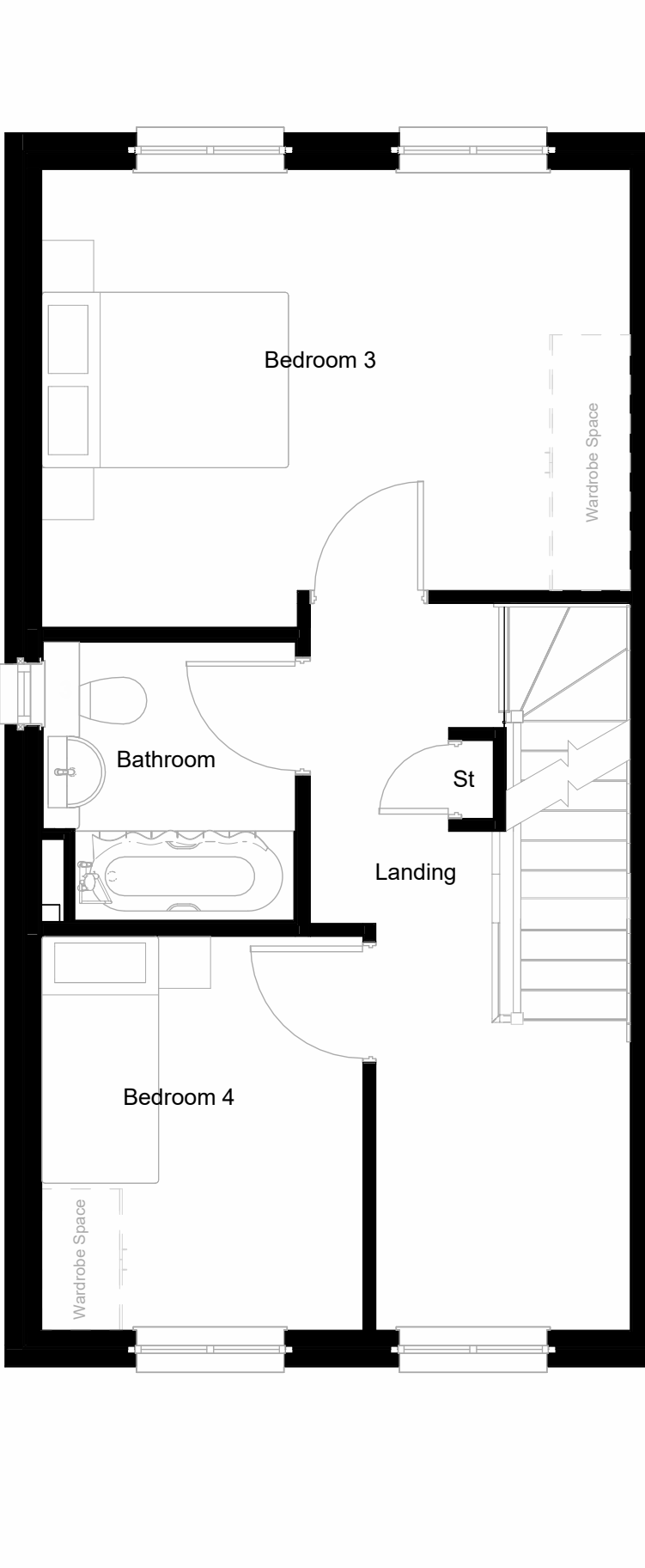
Elevation Material Key

- Red brick - soldier course datum
- Red brick - stretcher course
- Render - off white
- Weatherboard - anthracite

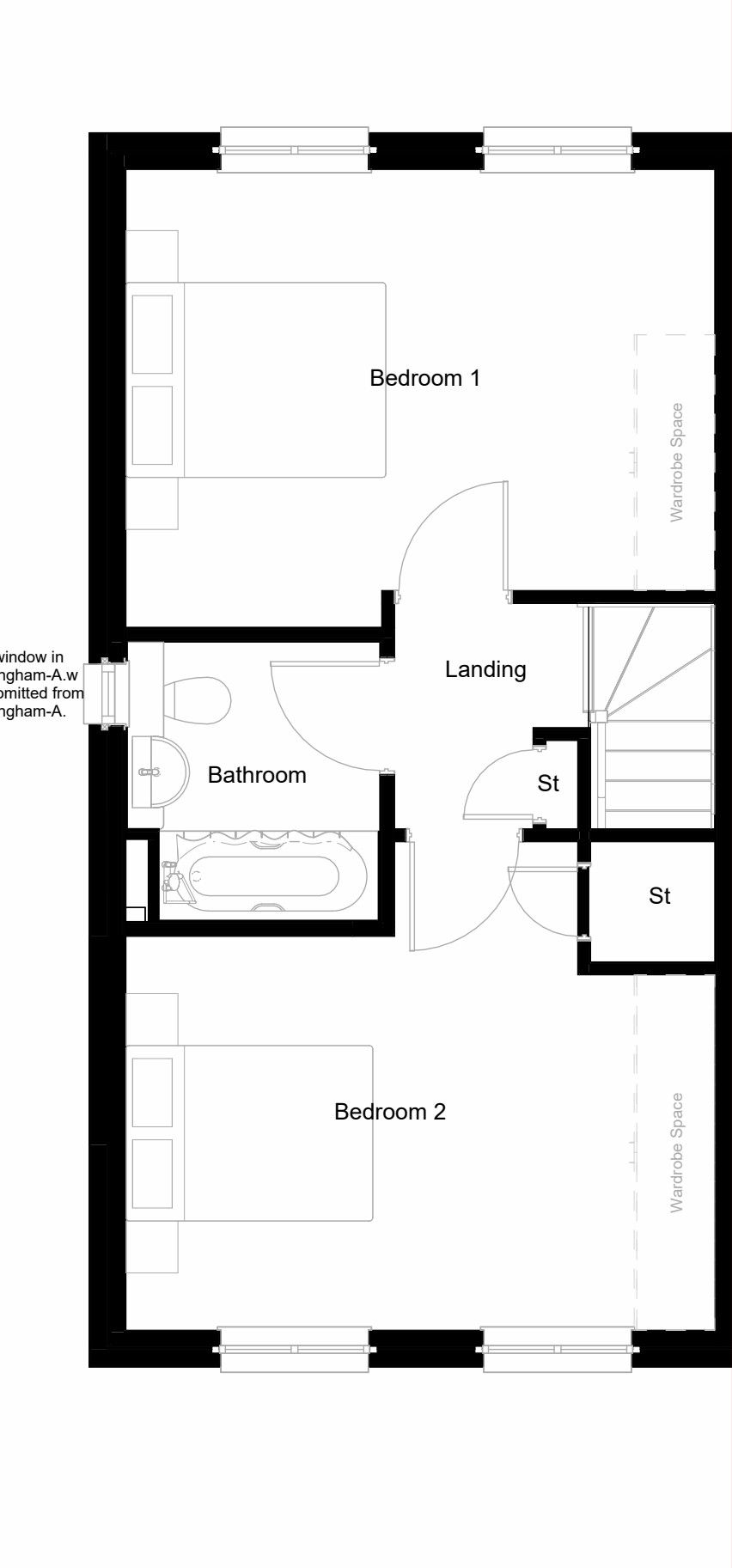
RWP, Fascia fittings & Windows - anthracite



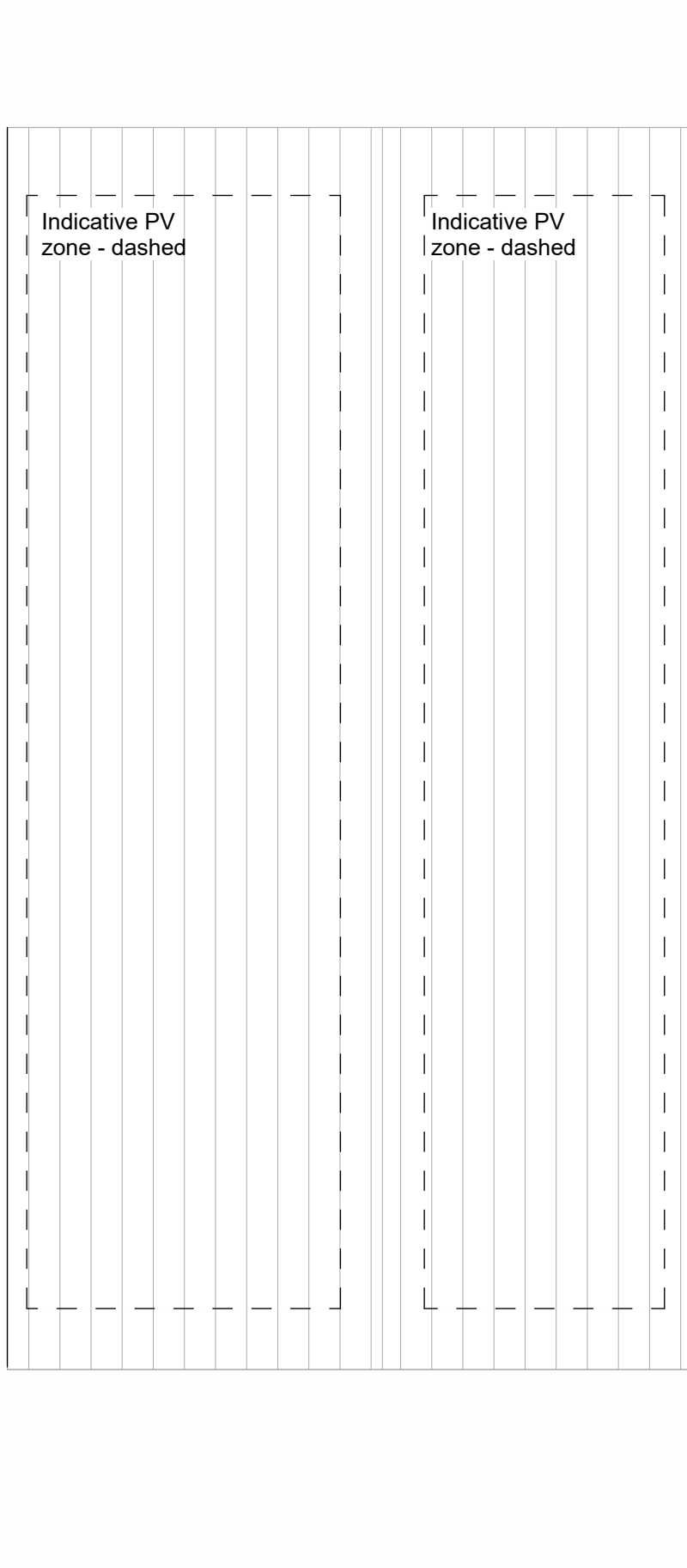
4 | Rockingham A & A.w Ground Floor Plan
1 : 50



5 | Rockingham A & A.w First Floor Plan
1 : 50



6 | Rockingham A & A.w Second Floor Plan
1 : 50



7 | Rockingham Roof Plan A & A.w
1 : 50

Rockingham-A & A.w					
<ul style="list-style-type: none">End/Mid plotRoof: Front gable 46degL00 Elevation: Brick slipUpper Elevation: RenderSide Window: Rockingham-A [NO] / Rockingham-A.w [YES]					

Area Schedule (GIA) - House Sub-Types - Rockingham A					
Number	Ilke Sub-Type	GF Elevation	Upper Elevation.	Side Window	Upgraded acoustic trickle vents
B9	Rockingham-A	Brick Slip	Render	No	
B10	Rockingham-A	Brick Slip	Render	No	
B11	Rockingham-A	Brick Slip	Render	No	
Rockingham-A: 3					
B8	Rockingham-A.w	Brick Slip	Render	Yes	
Rockingham-A.w: 1					
Grand total: 4					

P5	25.05.23	PLANNING ISSUE - Ilke updates	JR/GH
P4	29.03.23	PLANNING ISSUE	JR/GH
P3	22.03.23	Draft Planning Issue	JR
P2	10.03.23	Draft Planning Issue	JR
P1	28.02.23	Ilke Types - draft issue	JR
Rev	Date	Description	Drawn / Checked

Project name

LINLEY ROAD
PLUS DANE

Drawing number Rev

3845A - LB - IH - XX - D - A - 120330 P5

Drawing

House Type - Rockingham-A & A.w

Purpose of issue
FOR PLANNING

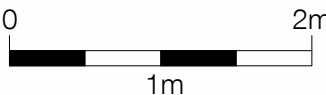
Scale Date
1 : 50 @ A1 01/18/23

Client

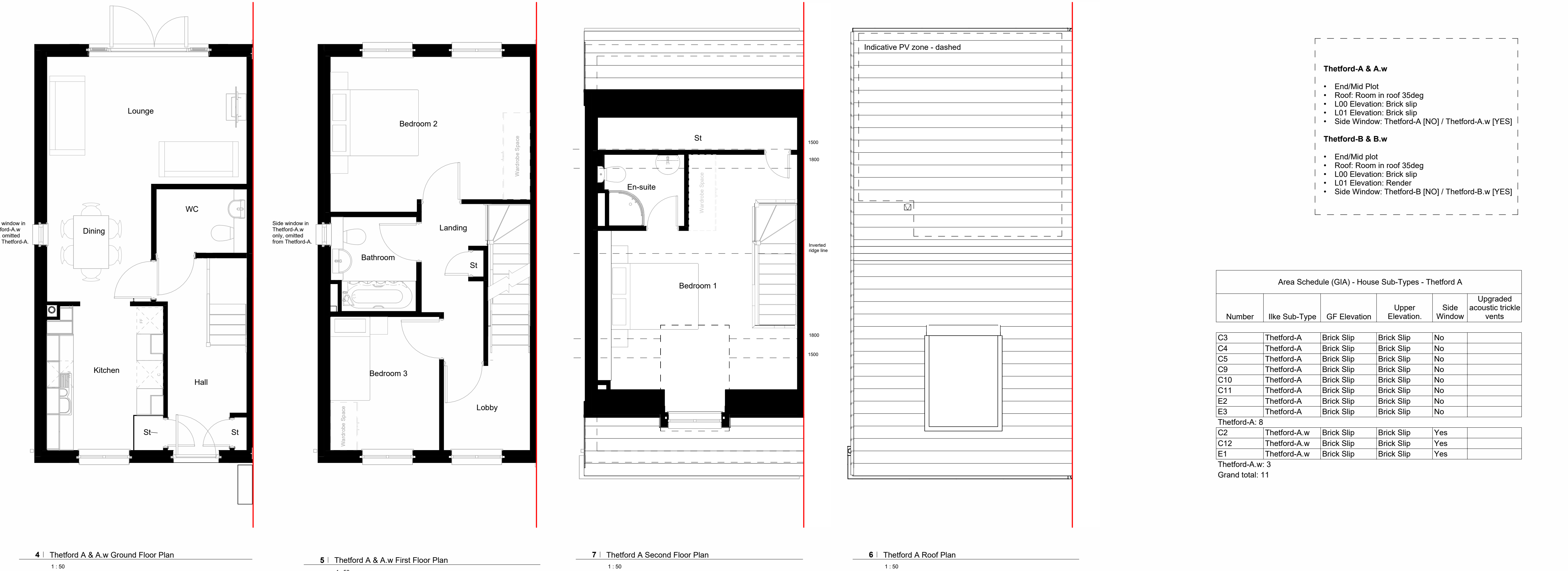
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ILKE HOUSE TYPE | THETFORD-A & A.w



Notes

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Render - off white
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RWP, Fascia fittings & Windows - anthracite

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Rev	Date	Description	Drawn / Checked

Project name

**LINLEY ROAD
PLUS DANE**

Drawing number

3845A - LB - IH - XX - D - A - 120320 **P5**

Drawing

House Type - Thetford-A & A.w

Purpose of issue
FOR PLANNING

Scale
1 : 50 @ A1

Date
01/18/23

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